

Home Evaluation Services

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Home Inspection Report

Prepared For:

Unspecified Client

Property Address:

MI

Inspected on Wed, Jan 13 2021 at 9:10 PM

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Thank you for the opportunity to conduct a home inspection of the property listed above. We understand that the function of this report is to assist you in understanding the condition of the property to assist in making an informed purchase decision.

The report contains a review of components in the following basic categories: site, exterior, roofing, structure, electrical, HVAC, plumbing, and interior. Additional categories may or may not be included. The report is designed to be easy to read and comprehend however it is important to read the entire report to obtain a full understanding of the scope, limitations and exclusions of the inspection.

In addition to the checklist items of the report there are several comments which are meant to help you further understand certain conditions observed. These are easy to find by looking for their icons along the left side margin. Comments with the blue icon are primarily informational and comments with the orange icon are also displayed on the summary. Please read them all.

DEFINITION OF CONDITION TERMS

Satisfactory: At the time of inspection the component is functional without observed signs of a substantial defect.

Marginal: At the time of inspection the component is functioning but is estimated to be nearing end of useful life. Operational maintenance recommended. Replacement anticipated.

Repair or Replace: At the time of inspection the component does not function as intended or presents a Safety Hazard. Repair or replacement is recommended.

Further Evaluation: The component requires further technical or invasive evaluation by qualified professional tradesman or service technician to determine the nature of any potential defect, the corrective action and any associated cost.

INSPECTION AGREEMENT

(Please Read Carefully)

In consideration of payment of the inspection fee set forth below, Home Evaluation Services LLC ("HES") agrees to conduct an inspection and prepare a written Inspection

Report ("Report") to alert the Customer of any major deficiencies in the property's condition in the following areas: structural condition; electrical, plumbing, hot water heater, heating and air conditioning; quality, condition and life expectancy of major systems and appliances; basement, including water problems; Kitchen and appliances; general interior, including ceiling, walls, floors, insulation and ventilation; general exterior, including roof, gutter, chimney; drainage and grading, of the lot. HES performs the inspection and prepares the report for the sole, confidential and exclusive use and possession of the CUSTOMER.

Customer understands and agrees that the inspection will be of the readily accessible areas of the property and is limited to visual observation of apparent conditions existing at the time of the inspection only. Excluded from the inspection are latent and concealed defects and deficiencies. Equipment, systems or other items will not be dismantled during inspection.

HES will perform the inspection in accordance with the standards of practice of the American Society of Home Inspectors, which is incorporated herein by reference. A copy of these standards is on file at the HES office. The inspection will be completed at the location designated on the inspections conditions page of the report. All inspection information will be conveyed to the customer or the customer's representative in the report. HES accepts no responsibility for use or misrepresentation by third parties of the inspection or the report.

Maintenance and other items may be discussed, but they are not part of the inspection. The inspection is not a compliance inspection of certification for past or present governmental codes or regulations of any kind.

The inspection and report do not address and are not intended to address the possible presence of, or danger from, any potentially harmful substances and environmental hazards including, but not limited to: mold in the air and carpet, radon gas, lead in paint, lead in water, asbestos, urea formaldehyde and toxic or flammable chemicals. Also excluded are inspections of and reports concerning swimming pools, wells, septic systems, central vacuum systems, water softeners or sprinkler systems, and presence or absence of rodents, termites, or other insects.

If the Customer believes that the inspection or report are deficient or inaccurate, then HES reserves the right to re-inspect visually the alleged deficiency and inaccuracies before the customer takes any step to remedy same. Customer shall give written notice of the

alleged deficiency to HES. The notice shall state the alleged deficiency and the grounds or basis for the allegations that the deficiency exists.

The parties agree that HES, its employees and agents assume no liability or responsibility for the cost of repairing or replacing any unreported defects or deficiencies that are either current or arising in the future, or for any property damage, consequential damage or bodily injury of any nature. THE INSPECTION AND REPORT ARE NOT INTENDED TO BE USED AS A GUARANTEE OR WARRANTY, EXPRESSED OR IMPLIED, REGARDING THE ADEQUACY, PERFORMANCE OR CONDITION OF ANY INSPECTION, ITEM OR SYSTEM.

Customer understands and agrees that if HES, its agents or employees are found liable for any loss or damage resulting from a failure to perform any of the obligations under this agreement including, but not limited to negligence, breach of contract, or otherwise, then the liability of HES, its agents or employees shall be limited to the amount of the inspection fee paid by Customer.

Resolution of disputes by arbitration If after the proper notice by Customer, HES has re-inspected, evaluated and addressed any alleged deficiencies in the performance of the inspection or preparation of the Report; and if the parties cannot reach an amicable resolution to same, then both parties agree that the subject matter of the dispute shall be submitted to binding arbitration subject to the rules of American Arbitration Association. The term "dispute" includes any dispute as to the deficiency of the inspection, report, or any other duty of either party arising under this agreement. Furthermore, the parties agree that each shall pay their own attorney fees and shall share equally in the cost of arbitration.

This Pre-Inspection Agreement represents the entire agreement between the parties and incorporate by reference the above referenced Cover Sheet, and Standards of the American Society of Home Inspectors. Changes or modifications to this agreement shall be in writing and signed by the parties. This agreement shall inure to the benefit only to the parties signing this agreement, and shall not inure to the benefit of any successor or assign of either party.

General

Client's Signature And Agreement
Acceptance:



Property Type:	Single Family
Stories:	One and a half
Approximate Age:	1950
Age Based On:	Listing
Bedrooms/Baths:	3/1
Furnished:	Yes
Occupied:	Not Present
Weather:	Overcast
Temperature:	Cool
Soil Condition:	Snow
Utilities On During Inspection:	Electric Service, Gas Service, Water Service
People Present:	Client, Buyer's Agent

Roofing

The visible condition of the roof covering, flashings, skylights, chimneys and roof penetrations are inspected. The purpose of the inspection is to determine general condition, NOT to determine life expectancy.

Inspection Method:	From ground
Roof Design:	Gable
Roof Covering:	Architectural
	Condition: Satisfactory
Approximate Roof Age:	<5years
Ventilation Present:	Gable Ends
	Condition: Satisfactory
Vent Stacks:	Metal
	Condition: Satisfactory
Chimney :	Not Present
Sky Lights:	Not Present
Flashings:	Not Present
Soffit and Fascia:	Aluminum
	Condition: Satisfactory

(Roofing continued)

Gutters & Downspouts: Metal
Condition: Marginal



Comment 1:

I always recommend full gutters systems on all homes. A proper system will take roof runoff away from the building, protect the base materials of the home, and keep the basement and crawl space areas dryer.



Comment 2:

The roof covering was found to be in good general condition, with no major damage or deterioration. Snow prevented a full inspection of the roof.



Figure 2-1



Figure 2-2

Exterior

The visible condition of exterior coverings, trim and entrances are inspected with respect to their effect on the condition of the building.

Exterior Covering: Brick, Vinyl Siding, Aluminum Siding
Condition: Satisfactory

(Exterior continued)



Comment 3:

The siding was in good condition but there were a few blemishes around the home.



Figure 3-1



Comment 4:

The mortar in the brick work at this location could use some attention as there is a little deterioration occurring.



Figure 4-1

(Exterior continued)

Exterior Trim Material: Vinyl, Aluminum
Condition: Satisfactory



Comment 5:

There is a corner piece of aluminum trim missing on the back of the home.



Figure 5-1

Windows: Wood, Vinyl
Condition: Satisfactory



Comment 6:

This wood widow needs to be prepped and painted o protect the wood from water damage.

(Exterior continued)



Figure 6-1

Entry Doors:	Steel
	Condition: Satisfactory
Balconies:	Not Present
Railings:	Not Present



Comment 7:

The homes siding was in good condition overall at the time of inspection.



Figure 7-1



Figure 7-2

(Exterior continued)



Figure 7-3

Site

The condition of the vegetation, grading, surface drainage and retaining walls that are likely to adversely affect the building is inspected visually as well as adjacent walkways, patios and driveways.

Site Grading:	Mostly Level Condition: Satisfactory
Vegetation:	Not Growing Against Structure Condition: Satisfactory
Retaining Walls:	Not Present
Driveway:	Concrete Condition: Marginal

(Site continued)



Comment 8:

The drive has settlement cracks. These should be sealed to prevent moisture intrusion which can cause further deterioration. It maybe too late to save this driveway and replacement may be a possible option.



Figure 8-1



Figure 8-2



Figure 8-3

Walkways:

Concrete
Condition: Satisfactory

(Site continued)

Steps/Stoops:	Concrete, Wood
	Condition: Satisfactory
Patios/Decks:	Not Present

Garage

Garage Type:	Detached
	Condition: Satisfactory
Garage Size:	1.5 Car
Door Opener:	Chain Drive
	Condition: Satisfactory
Opener Safety Feature:	Not Present



Comment 9:

Force sensitivity setting needs adjustment on the garage door. The light beam worked as designed but if the door meets resistance it should go back up. A garage door contractor could adjust this and lube and tune the door at the same time. Also, the safety eyes are installed incorrectly. The proper location is down on the door tracks, 4-6" off of the floor.



Figure 9-1



Figure 9-2

(Garage continued)



Comment 10:
Garage views.



Figure 10-1

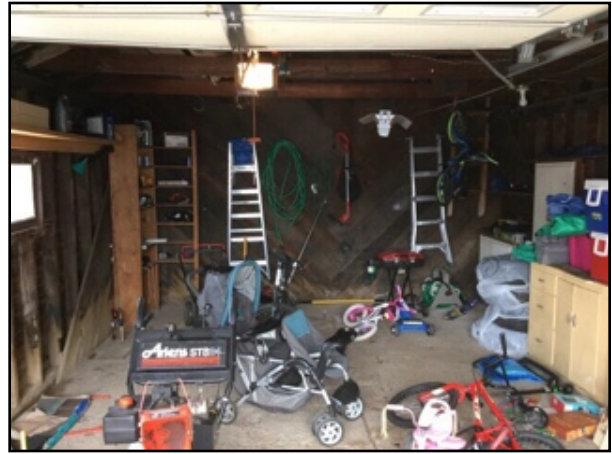


Figure 10-2



Comment 11:
There is a settlement crack in the floor of the garage.



Figure 11-1

(Garage continued)

Exterior

Exterior Covering:

Aluminum

Condition: Satisfactory

Exterior Trim Material:

Aluminum

Condition: Satisfactory



Comment 12:

Some of the garages trim areas are damaged and in need of repair.



Figure 12-1



Figure 12-2



Comment 13:

This post for the garage overhang has water damage. It is not all the way through yet and with some work as in sealing and protection of the this area the post could last for a long time.

(Exterior continued)



Figure 13-1



Comment 14:

There is water damage to the wood window in the garage.



Figure 14-1

(Exterior continued)



Comment 15:

A post has been removed from the garage overhang. I did to see any signs of issues deriving from this but I would keep an eye on this area.



Figure 15-1

Roofing

Roofing Material:

Architectural

Condition: Further Evaluation Required

Approximate Roof Age:

<5 Years

Ventilation Present:

Not Present

Gutters & Downspouts:

Metal

Condition: Satisfactory

(Roofing continued)



Comment 16:

The garage roof was in good condition and appears to have been replaced when the homes roof was done.



Figure 16-1



Figure 16-2

Kitchen

Cabinets:	Wood Condition: Satisfactory
Countertops:	Laminated Condition: Satisfactory
Sink:	Double Condition: Satisfactory

(Kitchen continued)

Comment 17:
Kitchen area inspected well and no major deficiencies were uncovered.



Figure 17-1

Appliances

This is a cursory check only of the specified appliances. The accuracy or operation of timers, temperature or power level controls is beyond the scope of this inspection.

Range:	Samsung Condition: Satisfactory
Range Hood:	Whirlpool Condition: Satisfactory
Refrigerator:	Whirlpool Condition: Satisfactory
Dishwasher:	Kenmore Condition: Satisfactory
Microwave:	Whirlpool Condition: Satisfactory

(Appliances continued)



Comment 18:

There were some blemishes on the micro wave door but the microwave did work as designed at the time of inspection.



Figure 18-1

Disposal:

Not Present

Bathrooms

Bathroom #1

Bath Tub:

Not Present

Shower:

Stall

Condition: Satisfactory

Sink(s):

Single Vanity

Condition: Satisfactory

(Bathroom #1 continued)



Comment 19:

The bathroom sinks drain stopper does not operate properly.



Figure 19-1

Toilet:	Standard Tank
	Condition: Satisfactory
Bidet:	Not Present
Shower Walls:	Fiberglass
	Condition: Satisfactory
Tub Surround:	Not Present
Floor:	Tile
	Condition: Satisfactory
Ventilation Type:	Ventilator
	Condition: Satisfactory
GFCI Protection:	Outlets
	Condition: Satisfactory

(Bathroom #1 continued)



Comment 20:

The bathroom outlet is non grounded. These types of outlets will work but will not protect three pronged appliances like computers or televisions. The good is the outlet is protect by a GFCI which is required within 6' of a water source.

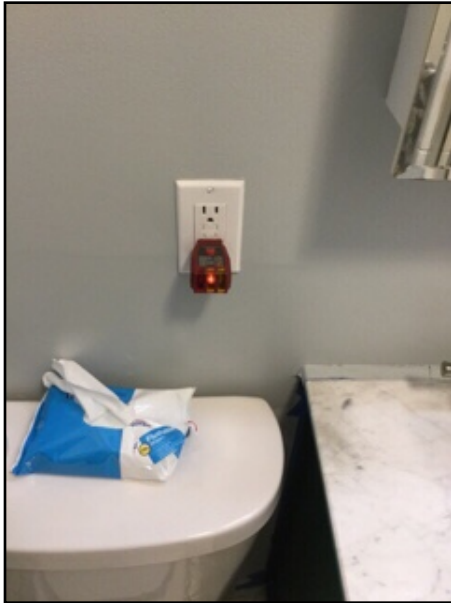


Figure 20-1



Comment 21:

The main bathroom was in good condition with no major deficiencies found at the time of inspection.

(Bathroom #1 continued)



Figure 21-1

Laundry

Built In Cabinets:	Yes
	Condition: Satisfactory
Laundry Sink:	Not Present
Dryer Venting:	To Exterior
	Condition: Satisfactory
GFCI Protection:	Not Present
Laundry Hook Ups:	Yes
	Condition: Satisfactory
Washer:	LG
	Condition: Satisfactory



Comment 22:

Full cycle test not done with an inspection, operating quality of these units will need to be determined by using,.

Dryer:	LG
	Condition: Satisfactory

(Laundry continued)



Comment 23:

Full cycle test not done with an inspection, operating quality of these units will need to be determined by using,.



Comment 24:

The laundry area of the home was in good condition.



Figure 24-1

Interior

The interior inspection is limited to readily accessible areas that are not concealed by furnishings or stored items. A representative number of windows and doors.

Floors:	Carpet, Wood Condition: Satisfactory
Walls:	Painted Drywall Condition: Satisfactory
Window Types:	Double Hung Condition: Satisfactory

(Interior continued)



Comment 25:

Some of the windows in the home were missing screens. A request could be made for them to be installed by the seller for the final walk through of the home.



Figure 25-1

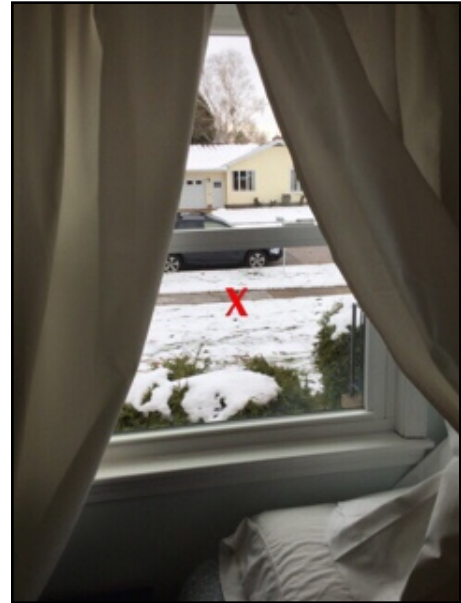


Figure 25-2

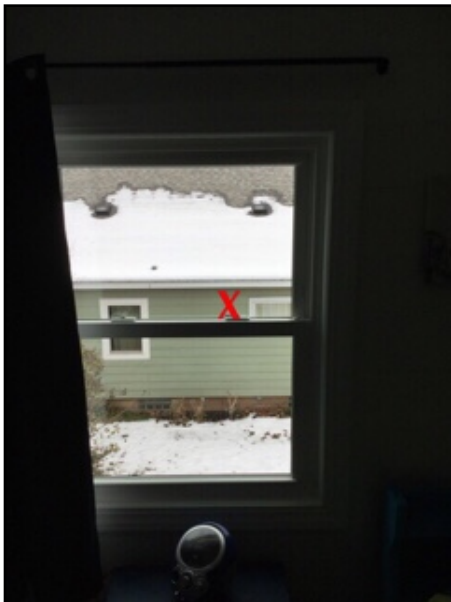


Figure 25-3

Window Materials:

Wood, Vinyl

(Interior continued)



Comment 26:

The window has lost it's seal causing a fog like appearance between the panes of glass. Replacement of the window or pane needs to be done to repair this situation.



Figure 26-1

Entry Door Types:

Hinged

Condition: Satisfactory

Entry Door Materials:

Steel

Interior Door Materials:

Wood

Fireplace:

Not Present

Ceilings

Structure

The visible condition of the structural components is inspected. The determination of adequacy of structural components is beyond the scope of a home inspection.

Foundation Types:

Basement

Foundation Material:

Concrete Block

Condition: Satisfactory



Comment 27:

There are some cracks in the basement foundation. This is not an uncommon occurrence and i would monitor for growth. These cracks could have happened a long time ago.



Figure 27-1

Signs of Water Penetration:

Stains

Condition: Further Evaluation Required

(Structure continued)



Comment 28:

There are some staining in the walls that indicate some water intrusion although it was dry at the time of inspection. Gutters would help alleviate this problem. There are also some holes drilled in the mortar joints the driveway side wall. Im not sure what this was for it could have been a finished wall at one time.



Figure 28-1



Figure 28-2

Prior Waterproofing:

Not Present



Comment 29:

The basement walls have been painted with mold and water resistant paint. This was being done during my last inspection. Also, it appears a tile floor has been removed from the basement at some time. Water intrusion? The basement was dry at the time of inspection.

(Structure continued)



Figure 29-1

Floor Structure:	Wood Frame
	Condition: Satisfactory
Subflooring:	Solid Wood Plank
	Condition: Satisfactory
Wall Structure:	Full Masonry
	Condition: Satisfactory

(Structure continued)



Comment 30:

The foundation walls and floor structure was found to be in good general condition.



Figure 30-1

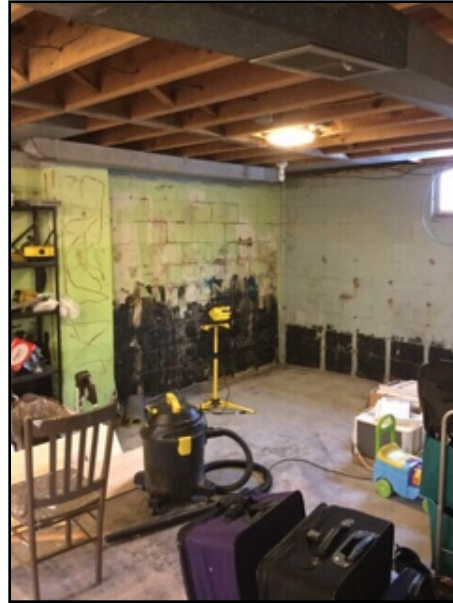


Figure 30-2



Figure 30-3

(Structure continued)

Attic

Attic Entry:

Not Present



Comment 31:

Because of the design of the home there was no attic area to inspect.

Electrical

The inspector can not inspect hidden wiring or verify if the number of outlets is per the National Electric Code. A representative number of outlets, switches and fixtures are tested for operation.

Type of Service:	Overhead
Main Disconnect Location:	Service Panel
Service Panel Location:	Basement
Service Panel Manufacturer:	Eaton
	Condition: Satisfactory
Service Line Material:	Aluminum
	Condition: Satisfactory
Service Voltage:	120 volts
Service Amperage:	100 amps
Service Panel Ground:	Cold Water Pipe
Branch Circuit Wiring:	Not Inspected

(Electrical continued)



Comment 32:

This gfci outlet would not reset at the time of the inspection.



Figure 32-1



Comment 33:

It is a good idea that outside outlets be of the GFCI type to protect people from shock. This is now standard code on newer homes. An electrician could review and make repairs.



Figure 33-1

(Electrical continued)



Comment 34:

The home has a some non-grounded outlets. Non grounded outlets do not protect three pronged outlets. The red arrow shows a non grounded outlet by the kitchen sink.



Figure 34-1



Figure 34-2

(Electrical continued)



Comment 35:
More non grounded outlets.



Figure 35-1



Figure 35-2

Overcurrent Protection:	Breakers
	Condition: Satisfactory
GFCI/AFCI Breakers:	Yes
	Condition: Satisfactory
Smoke Detectors:	Not Inspected



Comment 36:
I suggest to new home owners that dates be checked on smoke detectors, and new units be purchased to place in your home if needed, Smoke detectors only have an expected life of 10 years. Placing new ones in your home helps ensure your families safety along with a new carbon monoxide sensor.

(Electrical continued)



Comment 37:
Breaker panel was in good order.



Figure 37-1

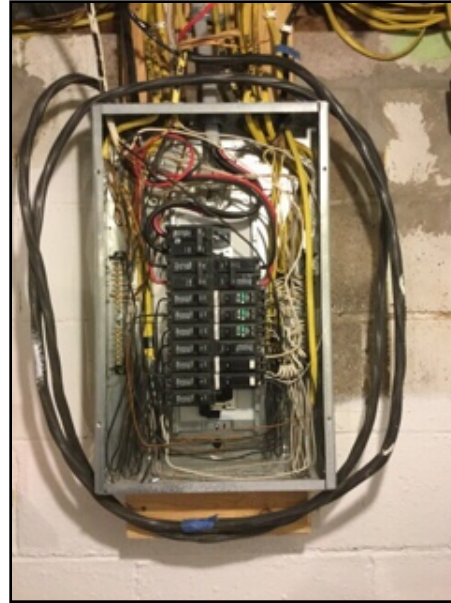


Figure 37-2

Plumbing

The plumbing system is inspected visually and by operating a representative number of fixtures and drains. Private water and waste systems are beyond the scope of a home inspection.

Water Service:	Public
Supply Pipe Material:	Copper
	Condition: Satisfactory
Location of Main Water Shutoff:	At Meter

(Plumbing continued)



Comment 38:

The red arrow marks the location of the water shutoff for the home.



Figure 38-1

Sewer System:

Public

Waste Pipe Material:

PVC, Cast Iron, ABS Plastic

Condition: Satisfactory



Comment 39:

The home has both PVC and ABS waste pipe joined together. These two products are not mad to be joined together unless there is a fernco coupler used. I see this regularly and this joint was not leaking at the time of inspection.

(Plumbing continued)



Figure 39-1

Sump Pump:	Not Present
Location of Fuel Shutoff:	At Meter



Comment 40:

The red arrow marks the location for the gas shutoff to the whole house.



Figure 40-1

(Plumbing continued)



Comment 41:

The outside faucets are not the anti frost type. They will need to be turned off inside the home and drained before winter each fall.



Figure 41-1

Water Heater

Manufacturer:	Bradford white
Fuel:	Natural Gas
Capacity:	40 gal
Approximate Age:	2007
Temp & Pressure Relief Valve:	Present With Blow Off Leg
	Condition: Satisfactory
Fuel Disconnect:	In Same Room
Seismic Straps Installed:	Not Present

(Water Heater continued)


 **Comment 42:**
The 2006 electric water heater was operating as designed at inspection.



Figure 42-1

HVAC

HVAC System Type:	Package Unit
Thermostat:	Analog
	Condition: Satisfactory
Thermostat Location:	Living Room

Heating

The heating system is inspected visually and operated by normal controls to determine general condition NOT life expectancy. The capacity or adequacy of the heating system is beyond the scope of a home inspection. A licensed HVAC contractor should be consulted if in question.

Location:	Basement
Type of Equipment:	Forced Air
	Condition: Satisfactory

(Heating continued)



Comment 43:

I always recommend an HVAC technician come and perform a clean and tune on all furnace units and boilers, This will allow for a complete inspection of heat exchanger and other internal components of the heater I am not able to inspect. Sometimes there are rebates from your gas company for this service which almost covers the cost of the inspection. This function should be performed regularly on your homes heating system. The unit was leaking inside the cabinet at the time of the inspection causing some rust to occur.



Figure 43-1

Manufacturer:	Bryant
Heating Fuel:	Gas
	Condition: Satisfactory
Approximate Age:	1999
Filter Type:	Disposable
	Condition: Satisfactory
Type of Distribution:	Metal Ducting
	Condition: Satisfactory

(Heating continued)


 Comment 44:
1999 forced air furnace worked as designed at the time of the inspection.



Figure 44-1



Figure 44-2

Furnaces over 10 years old should be checked, cleaned and serviced yearly by a licensed contractor.

Report Summary

This summary page is not the entire report. The complete report may include additional information of interest or concern to you. It is strongly recommended that you promptly read the complete report. For information regarding the negotiability of any item in this report under the real estate purchase contract, contact your real estate agent or an attorney.

Exterior Covering

1) The mortar in the brick work at this location could use some attention as there is a little deterioration occurring.



Figure 4-1

(Report Summary continued)

Exterior Trim Material

2) There is a corner piece of aluminum trim missing on the back of the home.



Figure 5-1

Windows

3) This wood widow needs to be prepped and painted o protect the wood from water damage.



Figure 6-1

(Report Summary continued)

Driveway

4) The drive has settlement cracks. These should be sealed to prevent moisture intrusion which can cause further deterioration. It maybe too late to save this driveway and replacement may be a possible option.



Figure 8-1



Figure 8-2



Figure 8-3

(Report Summary continued)

Garage

5) There is a settlement crack in the floor of the garage.



Figure 11-1

Exterior Trim Material

6) Some of the garages trim areas are damaged and in need of repair.



Figure 12-1



Figure 12-2

(Report Summary continued)

Garage: Exterior

7) This post for the garage overhang has water damage. It is not all the way through yet and with some work as in sealing and protection of the this area the post could last for a long time.



Figure 13-1

8) There is water damage to the wood window in the garage.



Figure 14-1

(Report Summary continued)

Microwave

9) There were some blemishes on the micro wave door but the microwave did work as designed at the time of inspection.



Figure 18-1

GFCI Protection

10) The bathroom outlet is non grounded. These types of outlets will work but will not protect three pronged appliances like computers or televisions. The good is the outlet is protect by a GFCI which is required within 6' of a water source.

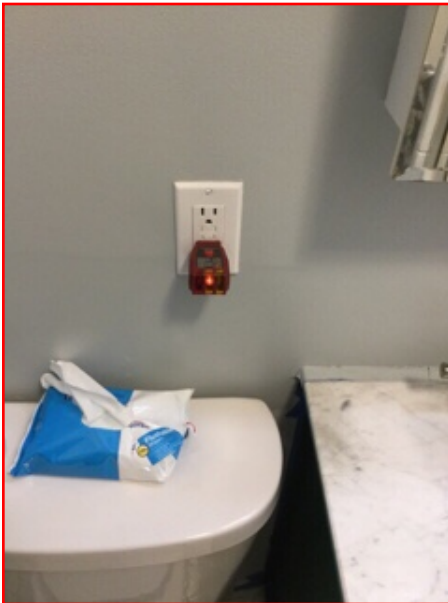


Figure 20-1

(Report Summary continued)

Window Materials

11) The window has lost its seal causing a fog like appearance between the panes of glass. Replacement of the window or pane needs to be done to repair this situation.



Figure 26-1

Foundation Material

12) There are some cracks in the basement foundation. This is not an uncommon occurrence and I would monitor for growth. These cracks could have happened a long time ago.

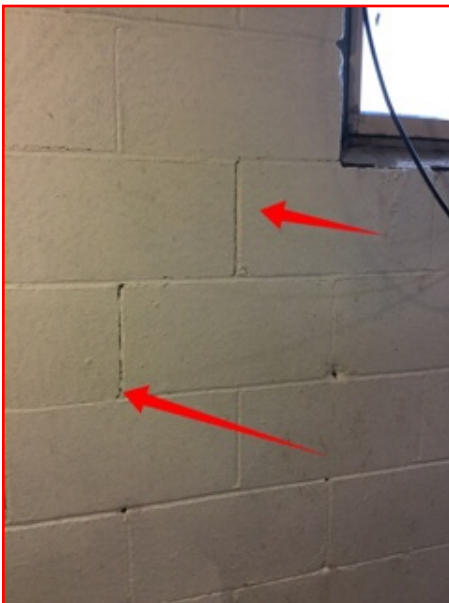


Figure 27-1

(Report Summary continued)

Signs of Water Penetration

13) There are some staining in the walls that indicate some water intrusion although it was dry at the time of inspection. Gutters would help alleviate this problem. There are also some holes drilled in the mortar joints the driveway side wall. Im not sure what this was for it could have been a finished wall at one time.



Figure 28-1



Figure 28-2

(Report Summary continued)

Branch Circuit Wiring

14) This gfci outlet would not reset at the time of the inspection.



Figure 32-1

Waste Pipe Material

15) The home has both PVC and ABS waste pipe joined together. These two products are not mad to be joined together unless there is a fernco coupler used. I see this regularly and this joint was not leaking at the time of inspection.



Figure 39-1